

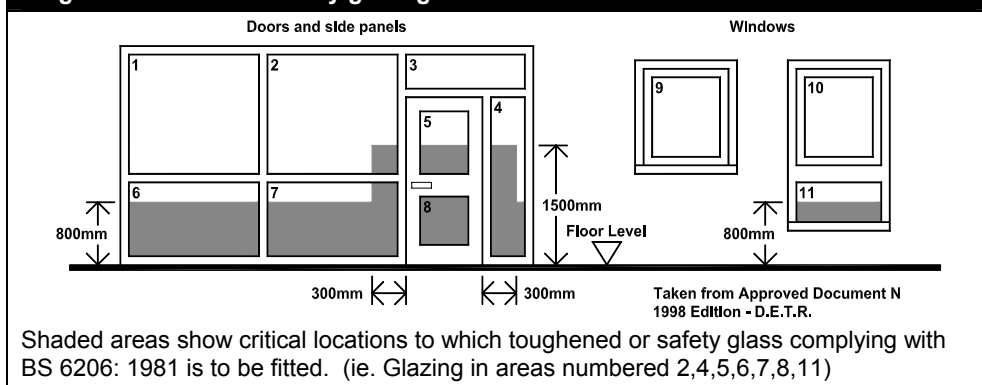
ARE YOU REPLACING WINDOWS OR DOORS IN YOUR HOUSE?

Since the 1st April 2002, building owners having replacement windows or external doors¹ fitted, have had to obtain Building Regulations consent, and have the installations inspected to ensure their compliance with strict new thermal performance standards and that safety glazing is fitted where required.

Replacement timber, plastic or wooden windows & external doors must achieve an average 'U' value of 1.8 W/m² K or less or with a centre-pane u-value not exceeding 1.2 W/m²K. The 'U' value is a measurement of the rate at which heat is lost through a product or component. A lower 'U' value indicates a more energy efficient product.

One of the main reasons for the change is the need to reduce energy loss. The Building Regulations have controlled glazing in new buildings for many years, but they only represented a very small percentage of the countries total building stock. It was essential to improve the thermal performance of the much larger number of existing buildings, if the UK was to meet the Government's commitment to national and global energy saving targets and as such, replacement windows are now subject to the Building Regulations.

Diagram 1 location of safety glazing in internal and external walls



TWO METHODS OF COMPLYING WITH THE REGULATIONS

When selling your property, the purchaser's solicitor may ask for evidence that any replacement glazing installed after the 1st April 2002 complies with the new Building Regulations. There are two ways to obtain Building Regulations consent:

1. A certificate showing that the work has been done by an installer under the **FENSA** scheme; or
2. A certificate from the **Barnsley MBC** saying that the installation has been completed and complies with the **Building Regulations**.

FENSA is a self-certification scheme set up by the Glass & Glazing Federation, for the installation of replacement double glazing to windows & doors in England & Wales, which allows installation companies that, meet certain criteria, to self-certify that their work complies with the Building Regulations. A sample of every installers work will be inspected by FENSA approved inspectors to ensure standards are maintained. FENSA will also inform Barnsley MBC of all completed FENSA installations and issue certificates to householders confirming compliance.

Before you sign a contract to buy replacement windows or doors, ensure the installer is carrying out the work under the FENSA scheme, if not, either they, or you, will have to make a Building Notice submission to Barnsley MBC under the Building Regulations.

The charge for the submission in relation to the installation of windows & doors for one property is **£55.32 + VAT (£65.00)**. A Building Control Officer will inspect the work carried out on each property, rather than just selected samples, to ensure that your windows & doors comply with the Building Regulations.

You should note that you, as the house owner, are ultimately responsible for ensuring the work complies with the Building Regulations, and that, either the work is carried out by an approved installer under the FENSA scheme, or a Building Regulations application is made to Barnsley MBC.

In addition to Building Regulations consent it must be ascertained whether or not planning permission or conservation approval is required.

OTHER REQUIREMENTS

When replacing windows or doors, consideration should also be given to compliance with other parts of the Building Regulations, and must be no less suitable than those existing in relation to structure; means of escape in the event of a fire; means of ventilation; proximity to flues/chimney's; protection from falling; and disabled access.

STRUCTURE

The opening into which the window or door is to be fitted should be made no larger than that existing. If a new opening is to be formed or the existing opening is to be increased in size then an application for the structural alteration will be required. Please contact Building Control to discuss. An assessment should be undertaken by the contractor as to the suitability of the support or lintel above the existing opening to ensure that it is still adequate.

MEANS OF ESCAPE IN THE EVENT OF A FIRE

It is recommended that all habitable rooms at first floor level and all rooms² at ground or first floor level whose only escape route is via another room (an 'inner room') be fitted with suitable escape windows.

A suitable escape window must have an unobstructed openable area at least 0.33m² and be at least 450mm high & 450mm wide; (a 450mm wide window will need to be at least 735mm high). The bottom of the opening should not be more than 1100mm above floor level.

Existing windows and/or rooflights within 'inner rooms' may be already be capable of being used as a suitable escape window in the event of a fire. In all such cases the size of the opening & cill height is to be made no worse than existing.

REMAINING ITEMS CONTINUED ON REAR OF LEAFLET



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**Building Control Services
Planning & Transportation Service
Barnsley Metropolitan Borough Council
PO Box 604, Barnsley, S70 9FE**



TECHNICAL INFORMATION SHEET No. 12

MEANS OF VENTILATION

The existing areas of ventilation openings (i.e. the openable area of windows & doors and the provision of trickle or night ventilators) should not be reduced. See table below for details of ventilation requirements.

Room	Rapid Ventilation opening window area	(eg	Background Ventilation (i.e. trickle vents)
Habitable Room	1/20 th of the floor area of the room		8000mm ²
Kitchen & Utility	Opening window (no minimum size)		4000mm ²
Bathroom/Shower Room	Opening window (no minimum size)		4000mm ²
Sanitary Accommodation	1/20 th of the floor area of the room		4000mm ²

PROXIMITY TO FLUES & CHIMNEYS

If any new window opening or door is sited nearer to a balanced or open flue terminal, then Building Control should be consulted. In all cases the boiler manufacturers advice should be followed with regard to proximity of opening windows or doors.

PROTECTION FROM FALLING

Where the height to the bottom of a first floor window opening is less than 800mm from floor level suitable guarding should be provided to prevent a person falling through an open window. If this reduces the opening size of an escape window, then a restricted opening device could be used that can be easily overridden in the event of an emergency.

DISABLED ACCESS

If the property was subject to the Disabled Regulations (in effect from 25th October 1999), any new principle doors should be no narrower than those existing, minimum 775mm clear opening width with a low threshold.

¹ Replacement doors in dwellings will only need to meet the requirement where the door, together with frame, has 50% or more of its internal face area glazed.

² The following rooms do not need escape windows – Kitchens, Utility Rooms, Dressing Rooms, Bathrooms, WCs or Shower Rooms.

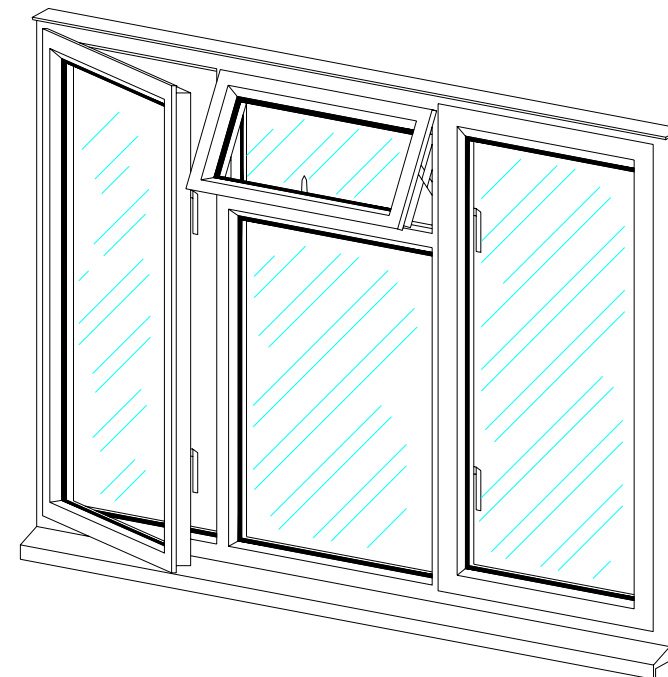
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REPLACEMENT WINDOWS OR DOORS

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