

ARE YOU RE-ROOFING?

If the answer is YES, a Building Regulations application is required for the alterations, including the re-covering of the roof and thermal insulation.

Please Note: Where you are replacing the existing covering with an identical material or one that is less than 15% heavier or lighter an application will only be required for the provision of thermal insulation.

HEAVIER OR LIGHTER ROOF COVERING

New roof coverings may impose substantially higher loads on the roof structure than the original ones. Occasionally, the new material may be substantially lighter than the original material. The following gives advice of what is required in both cases.

RE-ROOFING WITH A HEAVIER TILE

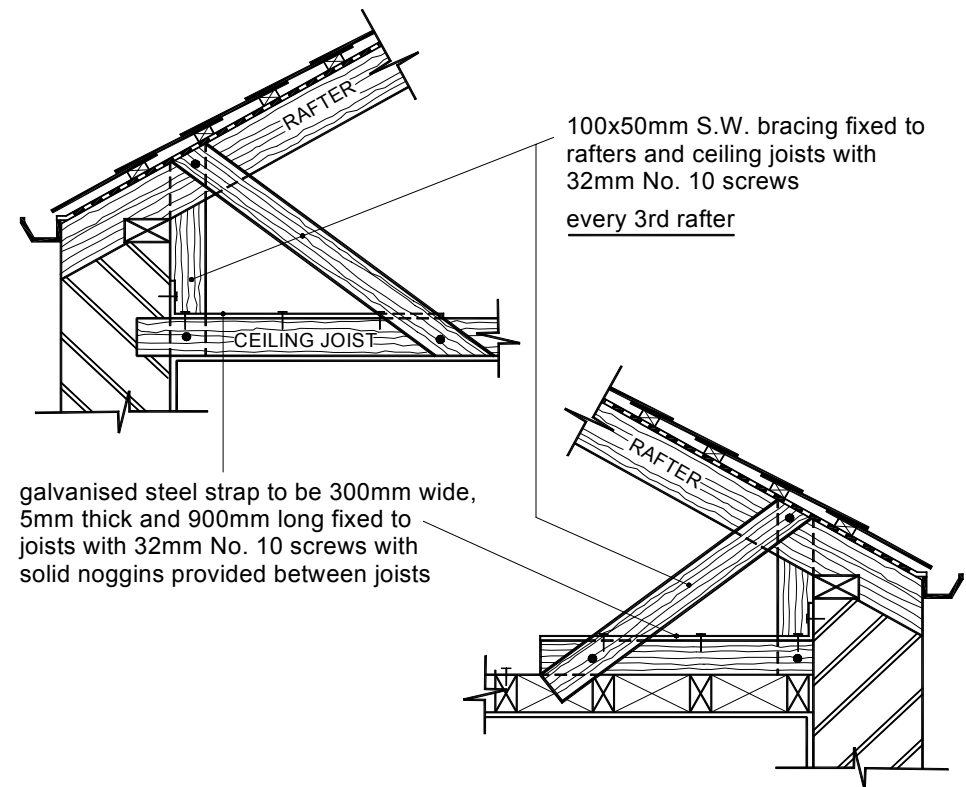
The following are the requirements for the above based on the roofing materials being of a heavier weight than the existing.

1. ARRANGE FOR AN INSPECTION OF THE EXISTING ROOF STRUCTURE TO CHECK WHETHER THE ROOF STRUCTURE IS CAPABLE OF SUSTAINING THE INCREASED LOAD
2. PROVIDE ADDITIONAL STRUCTURAL MEMBERS, e.g. TRUSSES, RAFTERS, BRACING, PURLINS, ETC. AS MAY BE REQUIRED TO ACCOMMODATE THE INCREASED LOADING
3. PROVIDE RESTRAINING STRAPS, ADDITIONAL TIES AND FIXINGS TO THE WALLS IN ACCORDANCE WITH EITHER A, B OR C FOR LIGHTER WEIGHT TILES

RE-ROOFING WITH A LIGHTER TILE

The following are the requirements for the above based on the roofing materials being of a lighter weight than the existing.

- A. WHERE THERE IS A LEVEL EAVES AND NO ROOM EXISTS IN THE ROOF SPACE ITEMS 1, 2 & 3 APPLY
- B. WHERE AN ATTIC ROOM EXISTS ONLY ITEMS 2 & 3 APPLY
- C. WHERE THERE IS A SLOPING EAVES AND NO ROOM EXISTS IN THE ROOF, AND WHERE RAFTERS & CEILING JOISTS DO NOT MEET AT WALL PLATE LEVEL ITEMS 1, 3 & 4 APPLY
 1. Provide 30mm x 5mm mild steel holding down straps to each purlin, taken 1 metre down wall & screwed every 300mm.
 2. Ensure that rafter & ceiling joists are connected together with 100mm nails and nailed to wallplate.
 3. Ensure that rafter & purlins are connected together with 100mm nails.
 4. Provide 75mm x 50mm timber ties between rafter and ceiling joist connected together with 100mm nails. Galvanised steel straps, 30mm wide, 5mm thick & 900mm long to be fixed to joists with 32mm No. 10 screws with solid noggins should also be provided between joists, as shown in the two sketches opposite.



Where in excess of 25% of a thermal envelope is renovated, such as would be the case when recovering a roof, thermal insulation must be provided to comply with the requirements of Approved Document L1B – Conservation of fuel and power in existing dwelling (2006 Edition). Unless the current insulation achieves the threshold level shown below, reasonable provision in most cases would be to achieve the improved value set out below.

Element	Threshold Value	Improved Value
Insulation at Ceiling Level	0.35 W/m ² K	0.16 W/m ² K
Insulation between/following rafters	0.35 W/m ² K	0.20 W/m ² K

At ceiling level, the improved value can be achieved by providing 100mm fibreglass insulation between the joists with a further 150mm fibreglass laid across, to give 250mm total thickness. In pitched roofs with the insulation following the rafters, or within a loft conversion, please contact Building Control for advice on how to achieve the improved value.

Roofs also require ventilation to meet the requirements of Approved Document F – Means of Ventilation (2006 Edition). This requires eaves ventilation if there is a roof space and eaves and ridge ventilation if there is a loft conversion. Eaves ventilation in a roof space is to be at least equal to a continuous strip 10mm wide. This is to be provided at opposite sides of the roof to allow cross ventilation. Eaves ventilation where there is a loft conversion is to be at least equal to a continuous strip 25mm wide. Again, this is to be provided at opposite sides of the roof to allow cross ventilation. Ridge ventilation is to be at least equal to a continuous strip 5mm wide.

FOR CLARIFICATION OF THE ABOVE OR FURTHER TECHNICAL INFORMATION PLEASE CONTACT BUILDING CONTROL – SEE REAR COVER FOR DETAILS.



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You can visit us at the Barnsley Connects Service Centre, The Civic, Eldon Street, Barnsley, S70 2JL between 9.00 - 1.00pm Monday – Friday, where we provide a duty surveyor to give technical or general advice.

If you wish to speak with a specific surveyor, you can arrange to meet with them at the Barnsley Connects Service Centre by prior appointment between 9.00 - 5.00pm Monday - Friday.

Alternatively, a Building Control Surveyor is always available by telephone to give technical or general advice and to receive inspection requests, between 9.00 - 5.00pm Monday – Friday.

How to contact us:

Building Control general direct line: (01226) 772678

24hr answerphone (inspection requests): (01226) 772699

Fax Number: (01226) 772698

Dangerous Structures (out of hours): via emergency services

E-mail:

Building Control Manager: TIMCLIFFE@BARNLSLEY.GOV.UK

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Website: www.barnsley.gov.uk/buildingcontrol

Customer comments are welcome (good or bad) using the feedback form found on the website. Your comments may help us to improve our service to you.



**BARNLSLEY
Metropolitan Borough Council**

BUILDING CONTROL SERVICES



**TECHNICAL INFORMATION
SHEET No. 9**



**RE-ROOFING YOUR
HOUSE**

(2008/9 EDITION)



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PLANNING & TRANSPORTATION SERVICE